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# **Planning Committee**

## **14 December 2022**

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**UTT/22/1897/PINS**

Canfield Moat

High Cross Lane

Lt Canfield

# Site Location Plan



# Aerial Photo of Site



# Proposed Site Plan



**UNIT 1**  
2 FLOORS @ 75.5 sq m = 161 sq m / 1517 sq ft

**UNIT 2**  
2 FLOORS @ 75.5 sq m = 161 sq m / 1517 sq ft

**UNIT 3**  
2 FLOORS @ 38 sq m = 76 sq m / 820 sq ft

**UNIT 4**  
2 FLOORS @ 38 sq m = 76 sq m / 820 sq ft

**UNIT 5**  
2 FLOORS @ 38 sq m = 76 sq m / 820 sq ft

**UNIT 6**  
2 FLOORS @ 38 sq m = 76 sq m / 820 sq ft

**UNIT 7**  
1 FLOOR @ 124 sq m = 124 sq m / 1,334 sq ft

**UNIT 8 - Existing**  
2 FLOORS @ 357 sq m = 714 sq m / 7694 sq ft

**UNIT 9 - Existing**  
2 FLOORS AND BASEMENT = 700 sq m / 7524 sq ft

**UNIT 10**  
2 FLOORS @ 100 sq m = 200 sq m / 2150 sq ft

**UNIT 11**  
2 FLOORS @ 86 sq m = 172 sq m / 1852 sq ft

**UNIT 12**  
2 FLOORS @ 107.5 sq m = 215 sq m / 2314 sq ft

**UNIT 13**  
2 FLOORS @ 75 sq m = 150 sq m / 1620 sq ft

**UNIT 14**  
2 FLOORS @ 75 sq m = 150 sq m / 1620 sq ft

**UNIT 15**  
2 FLOORS @ 107.5 sq m = 215 sq m / 2314 sq ft

**UNIT 16**  
2 FLOORS @ 86 sq m = 172 sq m / 1852 sq ft

**UNIT 17**  
2 FLOORS @ 100 sq m = 200 sq m / 2150 sq ft

**TOTAL FLOOR AREA TO BE BUILT**  
2145 sq m / 23,036 sq ft  
Includes Unit 7 as a full conversion required.  
Garages @ 8.5 x 5.5m = 43 sq m / 463 sq ft



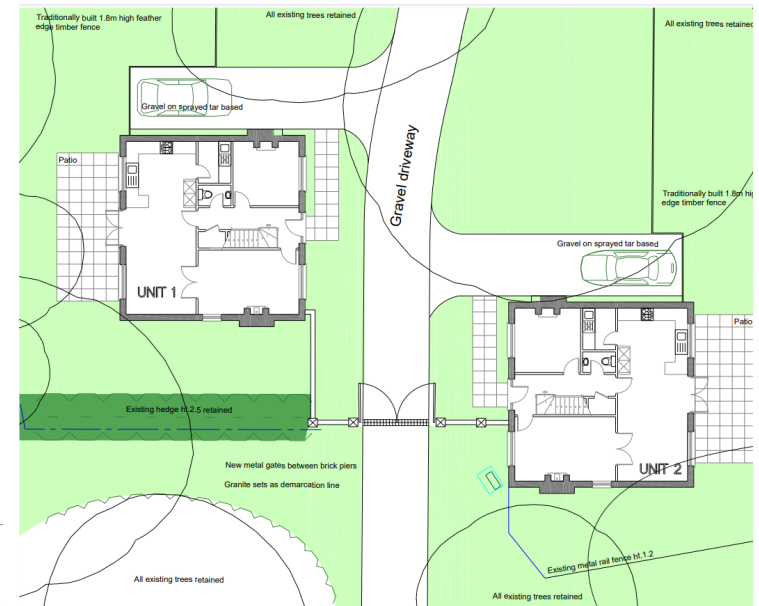
0 10 20 30  
Scale Bar

**ANTHONY JANE**  
ARCHITECTURE & INTERIORS  
14-16 New Square, Buntingford, CB10 1EP  
01360 572222  
a.jane@antjanedesign.com

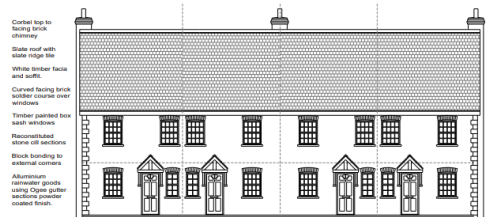
Project  
CANFIELD MOY  
HIGH CROSS LANE WEST  
LITTLE CANFIELD  
CB8 1TD

Client  
MR ANDREW SMITH

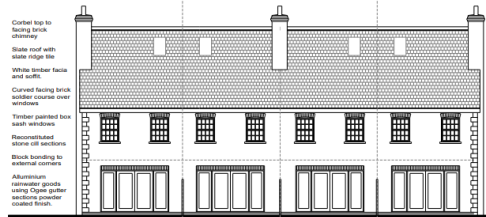
# Unit 1 & 2 Proposed Floorplans and Elevations



# Units 3-6 Proposed Floorplans and Elevations



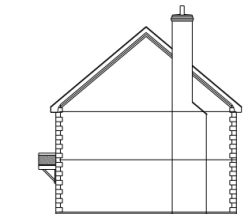
FRONT ELEVATION



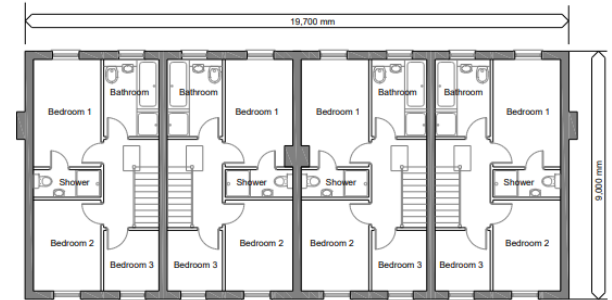
REAR ELEVATION

Cornel top to facing brick chimney  
Slate roof with slate ridge tile  
White timber fascia and soffits  
Curved facing brick soldier course over windows  
Timber painted box sash windows  
Reconstituted stone sill sections  
Block banding to external corners  
Aluminium rainwater goods using Drape gutter sections powder coated finish

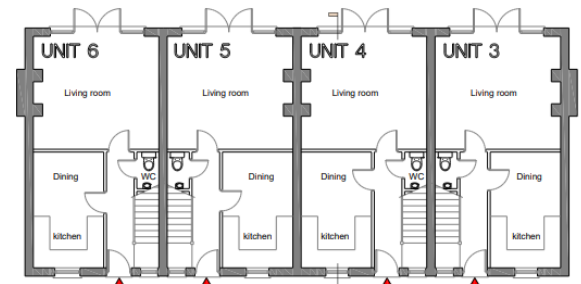
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Slate roof with slate ridge tile  
White timber fascia and soffits  
Curved facing brick soldier course over windows  
Timber painted box sash windows  
Reconstituted stone sill sections  
Block banding to external corners  
Aluminium rainwater goods using Drape gutter sections powder coated finish



SIDE ELEVATION ( other end handed )

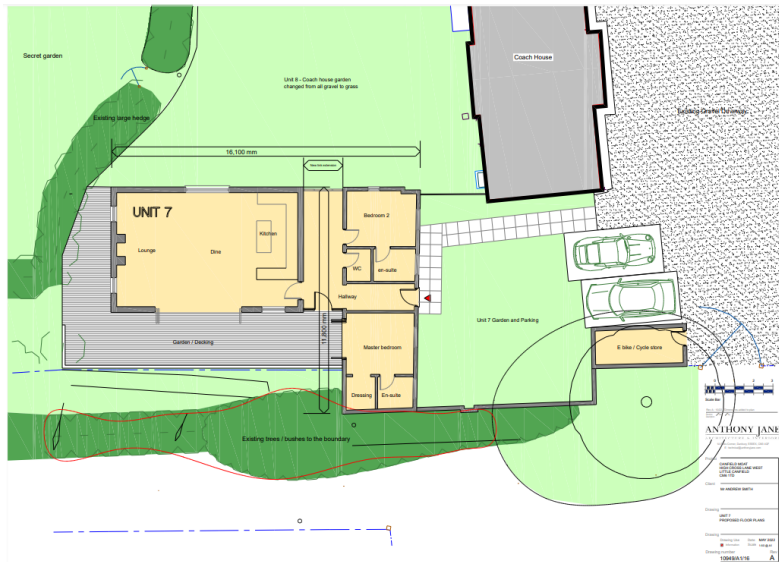


FIRST FLOOR PLAN - 38m<sup>2</sup>

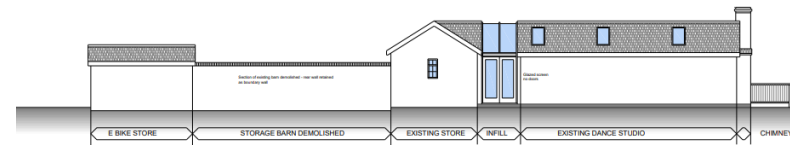


GROUND FLOOR PLAN - 38m<sup>2</sup>

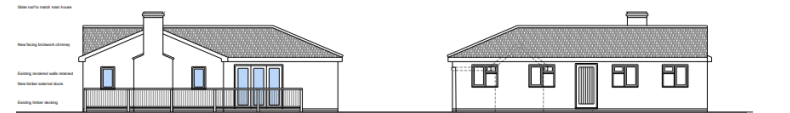
# Units 7 Proposed Floorplans and Elevations



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

SOUTH ELEVATION



# Units 10-17 Proposed Floorplans and Elevations



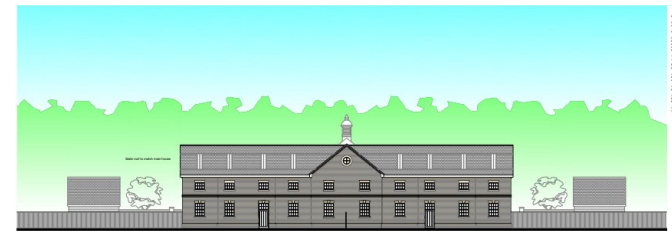
GROUND FLOOR PLAN



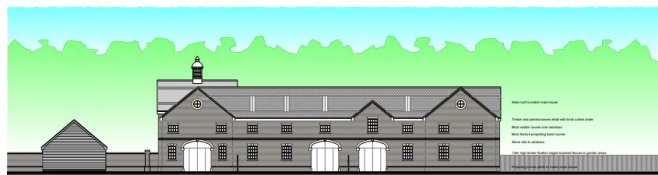
FIRST FLOOR PLAN



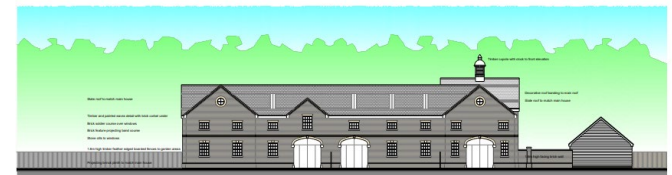
WEST ELEVATION



EAST ELEVATION

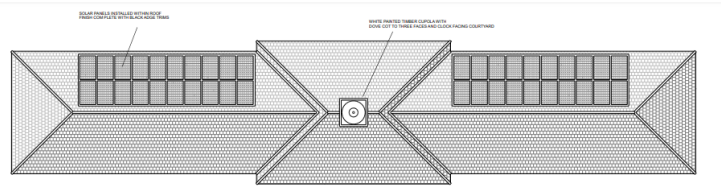


NORTH ELEVATION

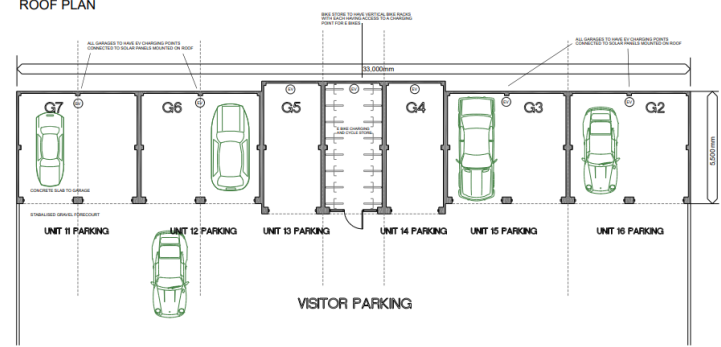


SOUTH ELEVATION

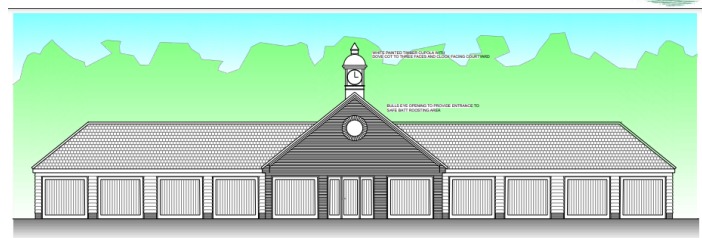
# Garage Block Plans



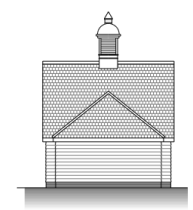
ROOF PLAN



GROUND FLOOR PLAN  
GARAGES AND PARKING FOR UNITS 11 - 16



FRONT ELEVATION



END ELEVATION

**FINISHES SCHEDULE**

Roof to be finished with eborax slate tiles complete with Eborax slate dry ridge.

White painted timber cupolas to be specifically designed and manufactured in timber with lead flashing to top done in traditional form. The cupola to have a shroul on three sides with the fourth housing the clock facing the courtyard.

Solar panels to be installed to the rear elevation and to be installed "within" the roof finish to ensure the top of the solar panels are in line with the adjoining side roof.

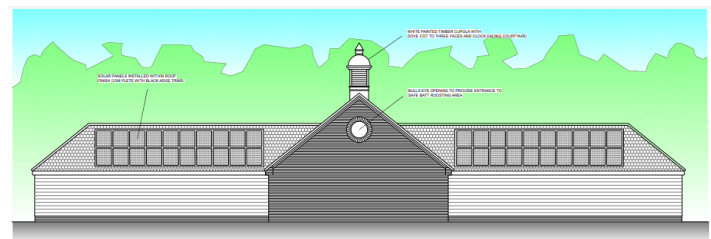
External walls to be facing brick piers in bricks to match main house. From top of piers to eaves, 175mm feather edge board stained black.

External wall to the central section to be facing brickwork full height and includes stepped corbel detail to verge and eaves.

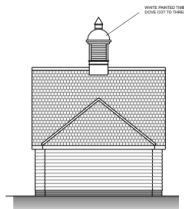
All eaves and soffits to be timber a stained black.

All gutters and down pipes to be black lipex.

All garage doors to be solid timber.



REAR ELEVATION



END ELEVATION

**FINISHES SCHEDULE**

Roof to be finished with eborax slate tiles complete with Eborax slate dry ridge.

White painted timber cupolas to be specifically designed and manufactured in timber with lead flashing to top done in traditional form. The cupola to have a shroul on three sides with the fourth housing the clock facing the courtyard.

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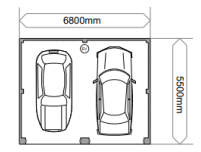
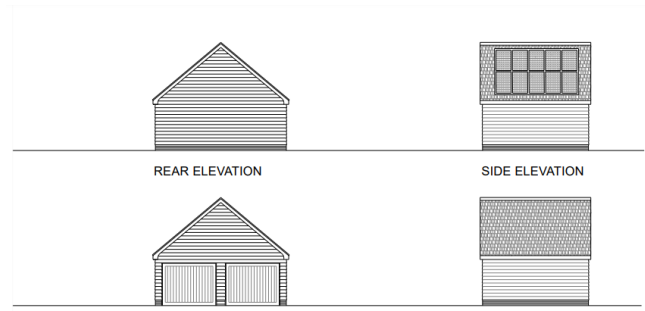
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External wall to the central section to be facing brickwork full height and includes stepped corbel detail to verge and eaves.

All eaves and soffits to be timber a stained black.

All gutters and down pipes to be black lipex.

All garage doors to be solid timber.



FLOOR PLAN - G1 AND G8  
UNITS 10 & 17

**FINISHES SCHEDULE**

Roof to be finished with Eborax slate tiles complete with Eborax slate dry ridge.

Solar panels to be installed "within" the roof finish to ensure the top of the solar panels are in line with the adjoining side roof.

External walls to be facing brick piers in bricks to match main house. From top of piers to eaves, 175mm feather edge board stained black.

All eaves and soffits to be timber a stained black.

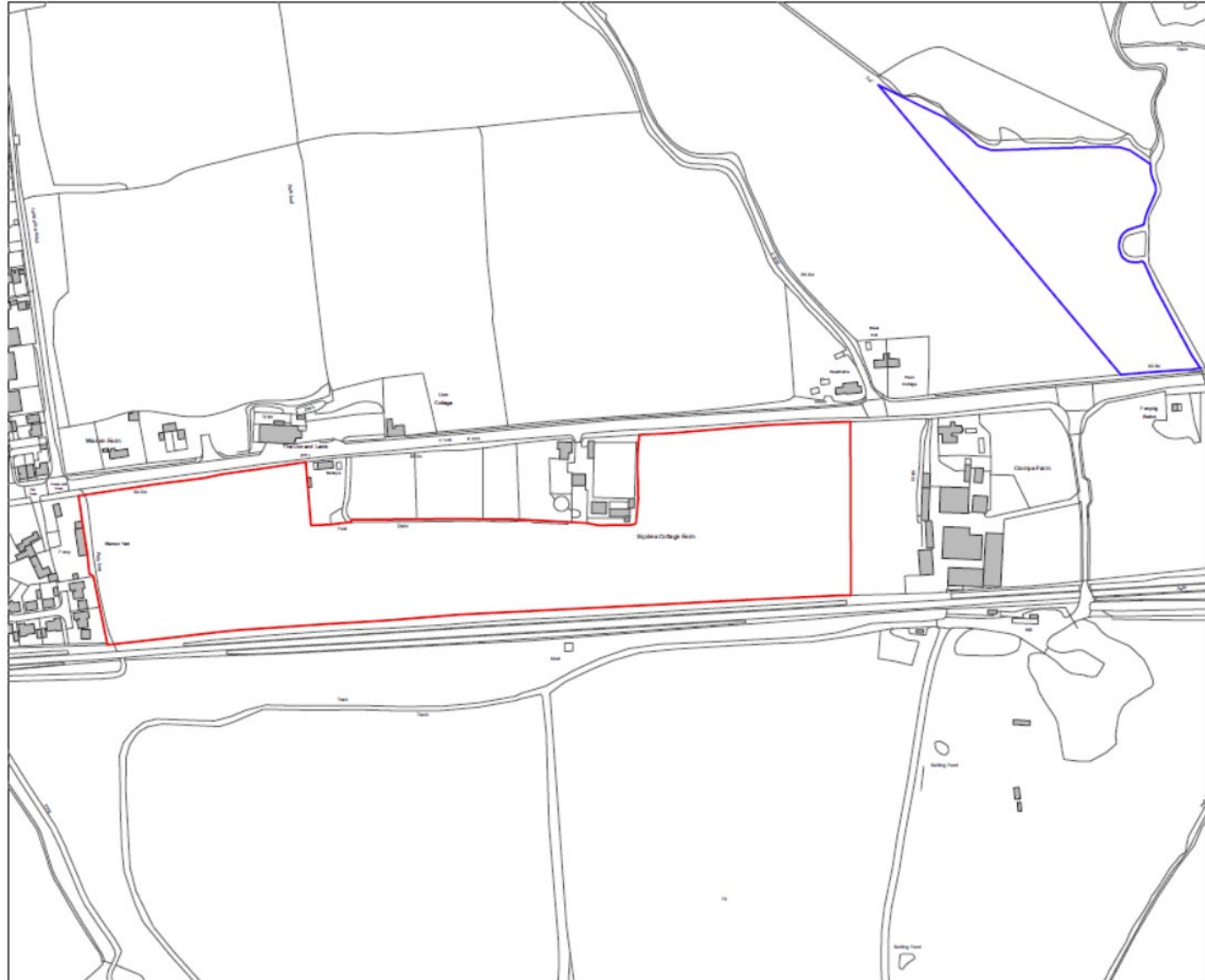
All gutters and down pipes to be black lipex.

All garage doors to be solid timber.

**UTT/21/3272/OP**

**Land South Of Stortford Road,  
Little Canfield,  
Essex**

# Location Plan



# Location Plan



# Location of Listed Buildings



# Indicative Parameter Plan

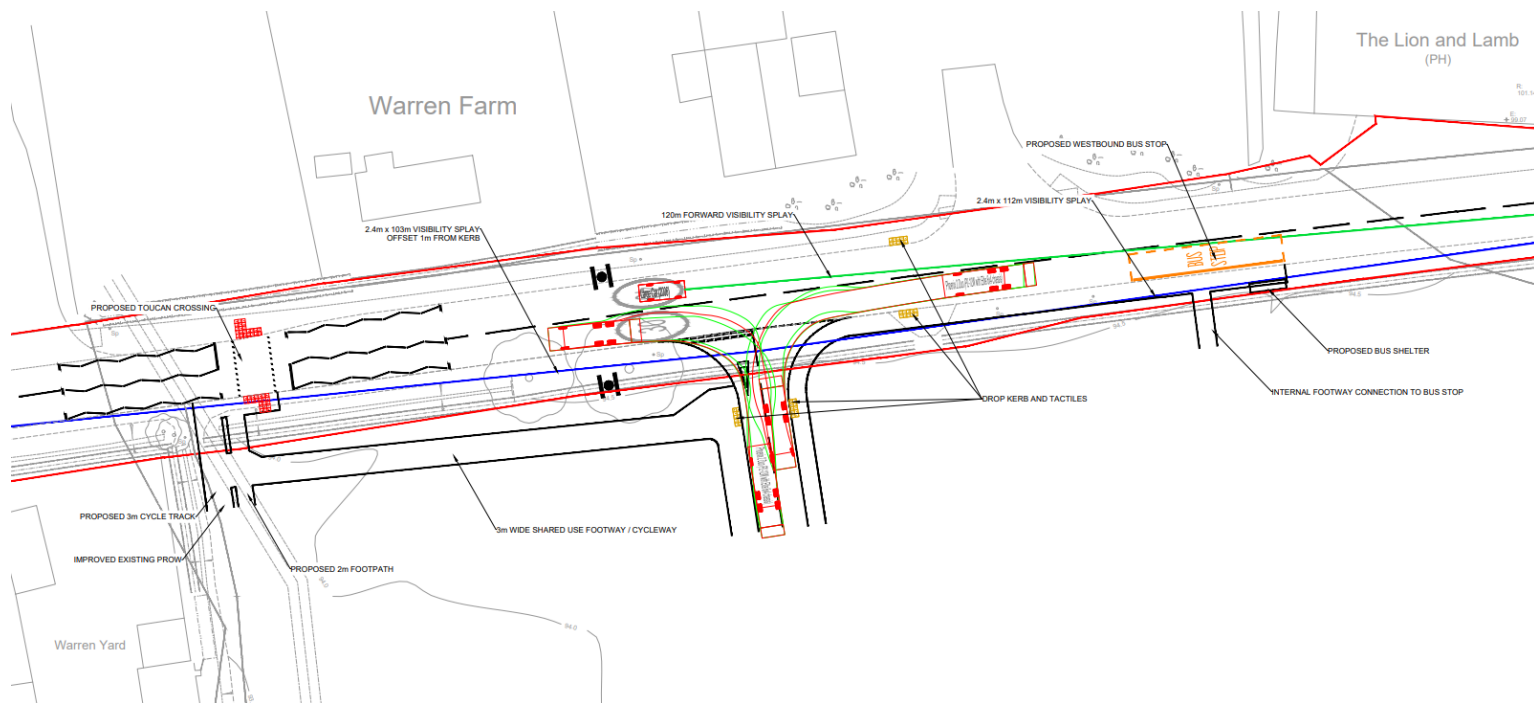


# Illustrative Masterplan





# Access Plan



# The Site Viewed From the Southern Boundary Looking West



## The Site Viewed From The Southern Boundary Looking East

Paddocks between Stortford Road and the site

Squires Cottage Farm, listed building, and its various outbuildings

The eastern edge of the site slopes away towards Crumps Farm



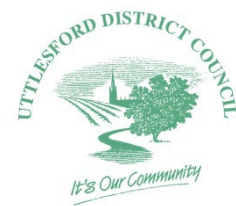
## The Site Viewed From the North Eastern Corner



# UTT/21/1836/OP

Land to the East of Wedow Road  
Thaxted

# Proposal



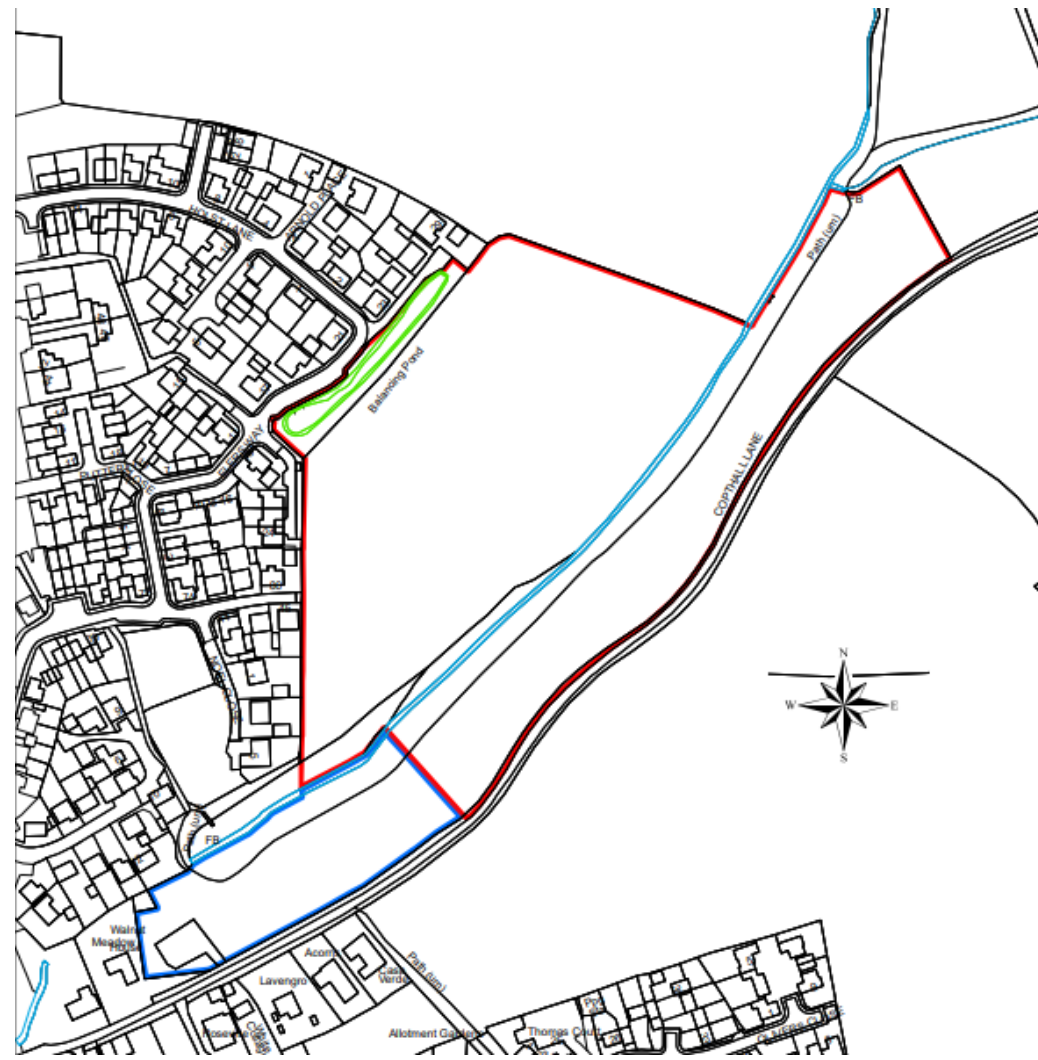
- Outline application with all matters reserved except access, for the development of the site for up to 49 residential dwellings.
- The site accessed off Elers Way via a new priority junction which will serve as the main vehicular access point.
- Height of dwellings limited to between 2 and 2 ½ storeys, with a development density of 27 dwellings per hectare.
- 20 units, or 40% of the total, are to be affordable.
- A formal Local Area for Play (LAP) located within the 'central space' part of the scheme.
- Further public areas open space made up of 1.24 hectares (3 acres), to the south.

# Deferral 26/10

Reasons for deferral included:

- Flooding / drainage issues
- Construction access / impact on local road network
- Heritage impacts / viewpoints

# Site Location





# Aerial View



# Copthall Lane



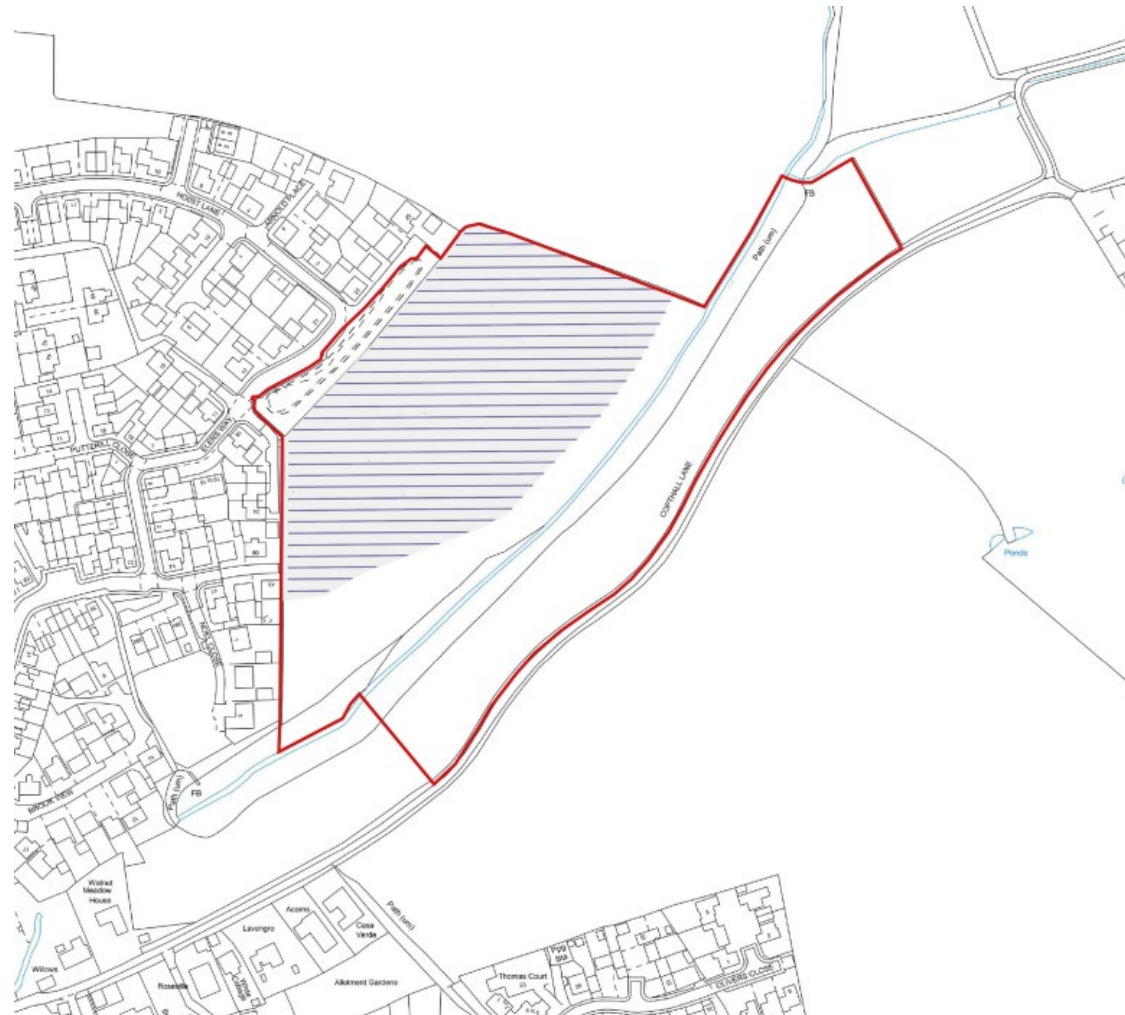
# PROW 49



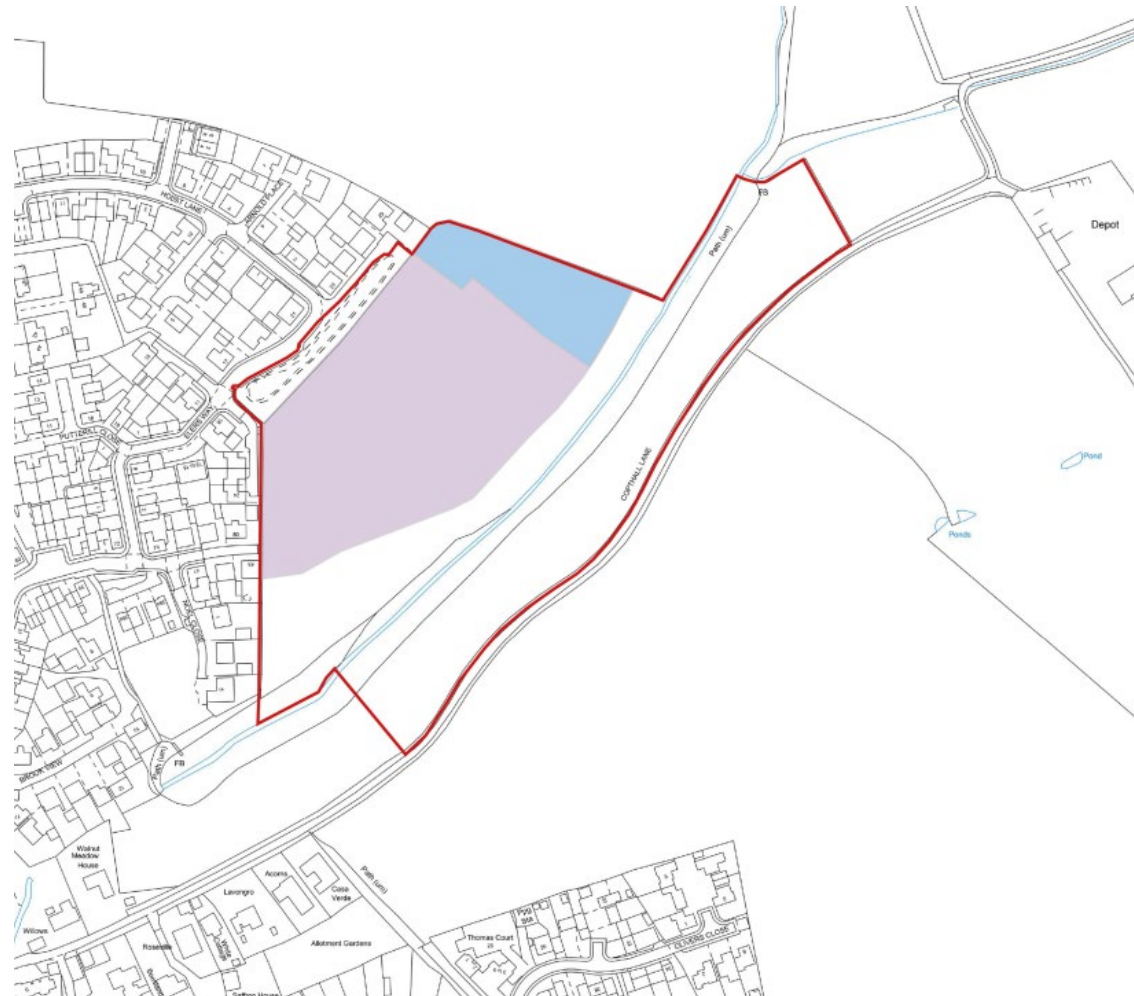
# PROW 49



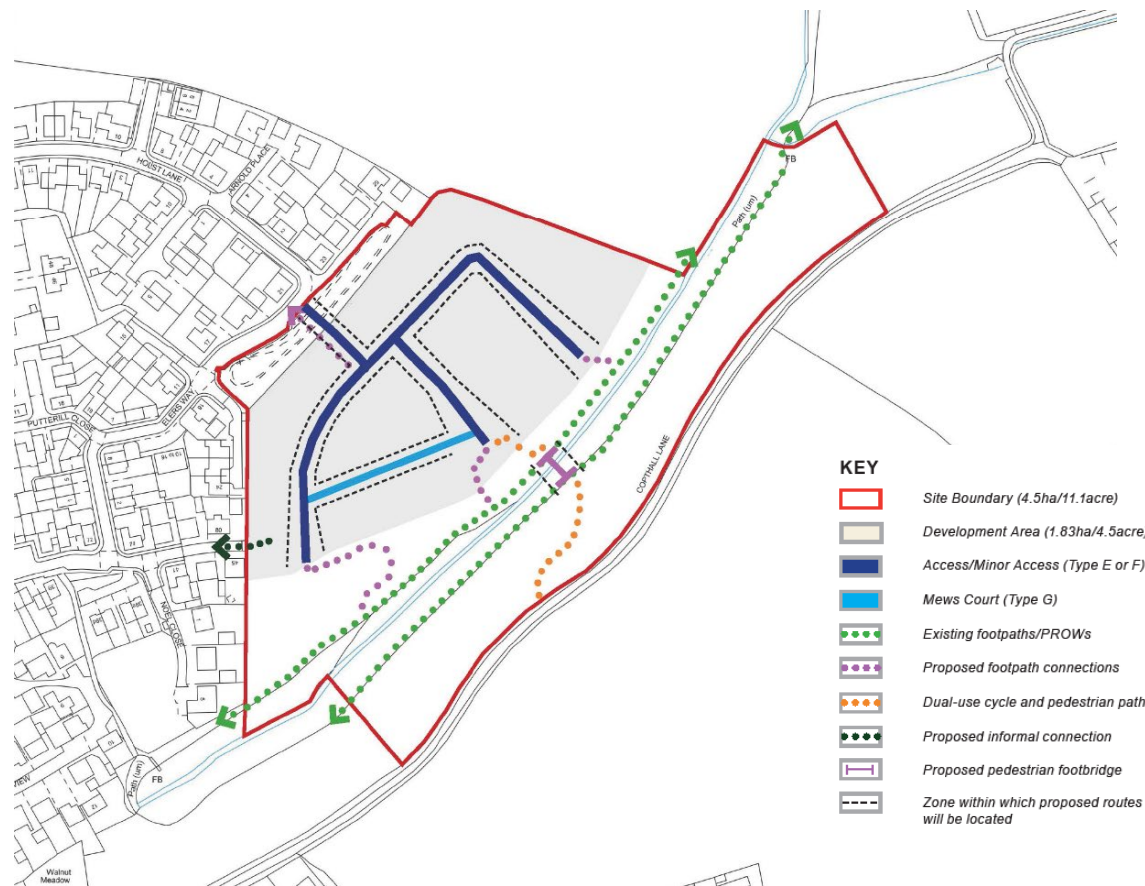
# Development Area Parameter Plan



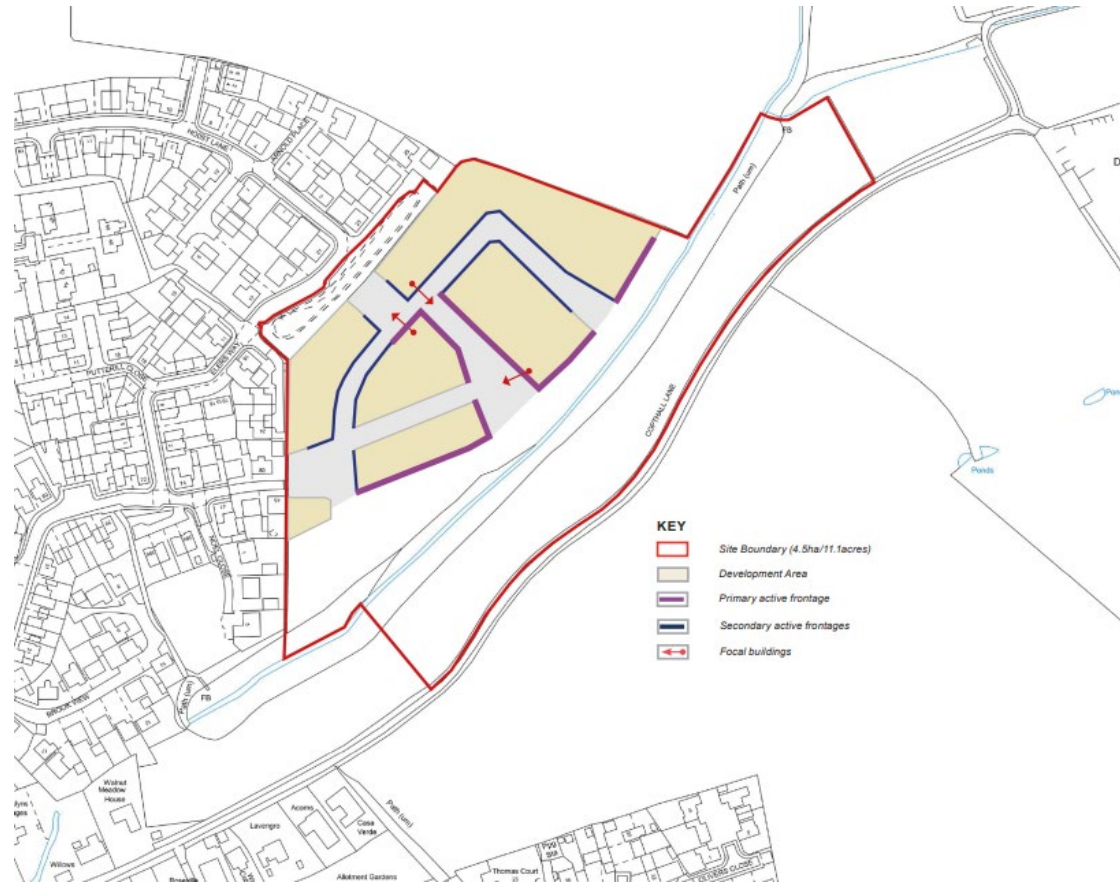
# Building Heights Parameter Plan



# Movement Parameter Plan



# Frontages and Focal Buildings Parameter Plan





# Spire Views



# Spire Views

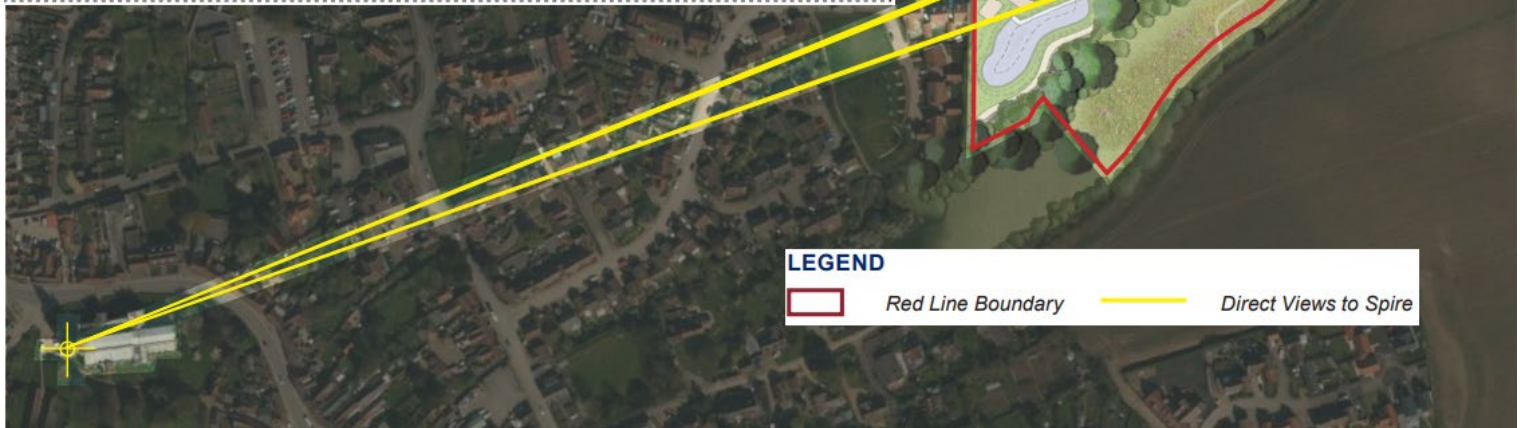
The final sketch scheme underpinning the masterplan followed feedback from officers that a 'vista-stop' was an effective response to the view, in which the views to the church were intentionally terminated within the layout, and marked both by a landmark building and also as a defined space within the townscape. This is tied to the creation of a well-formed funnelling space at the heart of the scheme.

## LEGEND

- ← - - - - - ■ 'Vista-Stop'
- ← - - - - - → Continuous View



Figure 04: Final Sketch Design Highlighting the Included 'Vista-Stop'

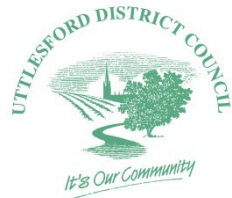


- ## LEGEND
- Red Line Boundary
  - Direct Views to Spire

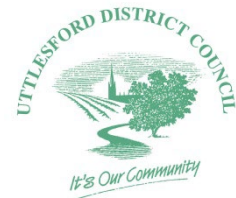
# Construction Access

- No articulated lorries to be used for the deliveries to/from the site.
- Restrictions on delivery times, to avoid carrying out such works during the morning and afternoon drop-off/collection times for the nearby school and peak traffic times.
- Erection of notice boards on the site hoarding adjacent to the site compound access gates containing the main point of contact for the construction project and the person responsible for the implementation of the Construction Management Plan onsite. Details to include name, position, contact number, email and postal address of the site manager.

# Summary



- Council unable to demonstrate a 5-year housing land supply.
- Neighbourhood Plan over 2 years old.
- Visual harm caused to the landscape character of the countryside would be localised, limited and largely mitigated by new planting measures.
- The provision of up to 49 dwellings including 20 of these being affordable housing.
- Approximately 1.24ha of a new public open space.
- No objection from LLFA or Anglian Water, subject to conditions, reaffirmed since the deferral.
- No objections on highways or construction access grounds, subject to conditions.
- No objections raised by conservation officers. Further assessment at reserved matters stage.
- Construction access can be adequately dealt with through a CMP.



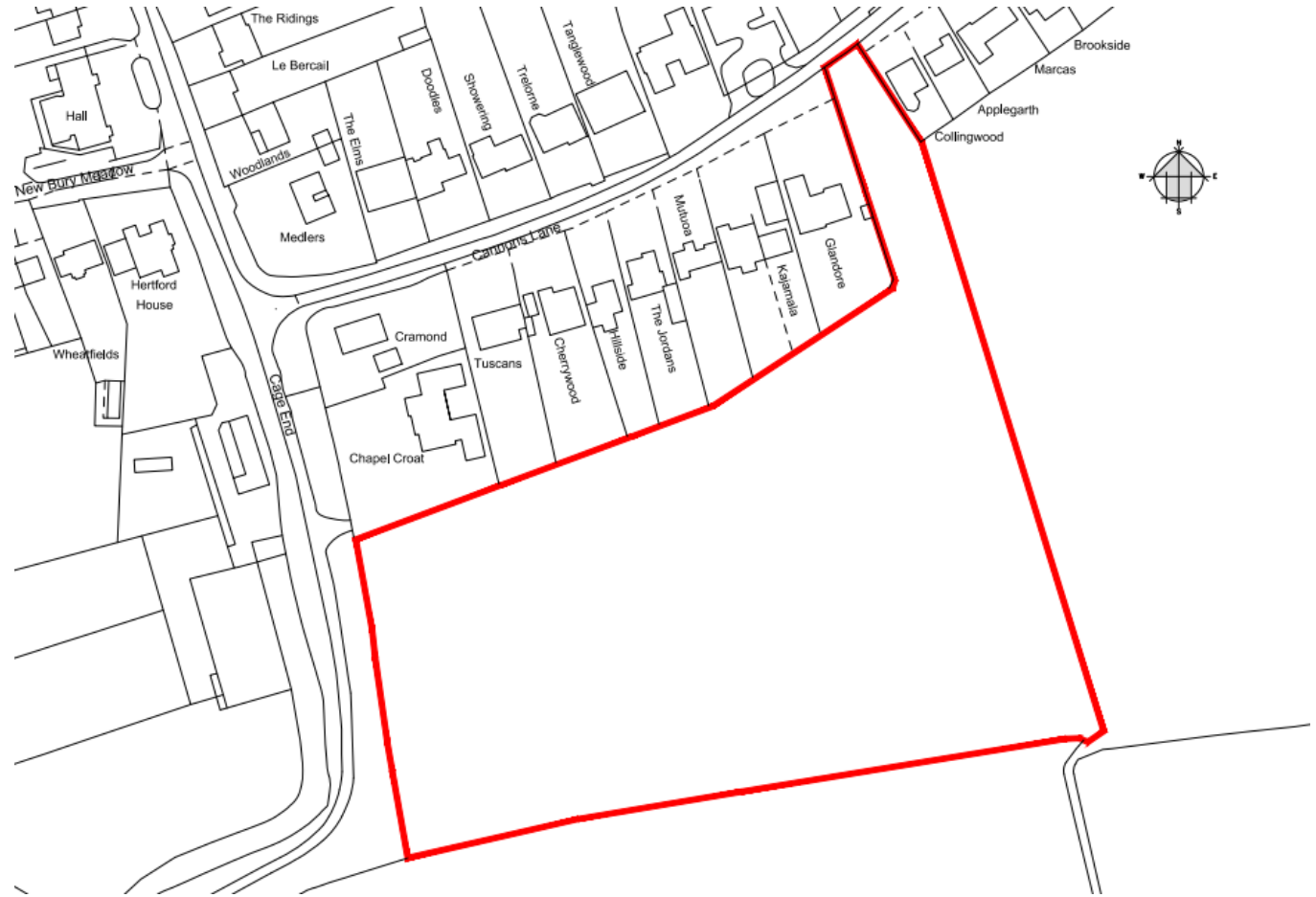
**UTT/21/3298/FUL**

**Land South of Cannons Lane  
Hatfield Broad Oak**

# Proposal

- Full application for the construction of 30 dwellings with open space, landscaping, access and associated infrastructure.
- The site accessed off Cannons Lane via a new junction which would serve as the main pedestrian and vehicular access point.
- Height of dwellings limited to 2 storeys, with a development density of 10 dwellings per hectare.
- 12 units, or 40% of the total, are to be affordable.
- Includes open public space area and children's play space.

# Site Location



# Site Views - Access





# Site Views – Rear of Cannons Lane



# Site Views – PROW 29



# Site Views – PROW 29



# Site Views – Cage End



# Site Layout Plan



# Landscape Plan



The diagram is a detailed landscape plan for a residential development. It features a central residential area with a winding road, a central green space with a pond, and various planting zones. A red line outlines the site boundary. Callout boxes provide specific details about the proposed landscaping, including tree species, hedgerow types, and access points. A grid of tree photographs is located in the top left corner.

**Maintained and protected trees considered important to setting of Cannons**

*Amelanchier lamarckii, Betula utilis 'Edinburgh', Carpinus betulus 'Fastigiata', Corylus colurna 'la Tercera Red', Malus 'Evereste'*

**Proposed species rich wildflower, native trees and shrub blocks to define areas of the Public Open Space and enhance biodiversity levels on site.**

**Proposed treated timber edged 1.5m wide hoggin footpath to encourage users through the open space and to provide access to the children's play area within the P.O.S.**

**Primary Street scene character is defined by planting of trees, formal clipped hedgerows and ornamental shrub.**

**Proposed ornamental planting to plot frontages designed for year-round interest and to benefit local wildlife.**

**1.2m wide maintenance strip to be installed along the retained hedge and boundary**

**Proposed orchard to be implemented into open space and planted with wildflower.**

**Seating opportunities along proposed footpath to encourage residents to relax and spend more time in the P.O.S as well as benefit from the sights and sounds of nature.**

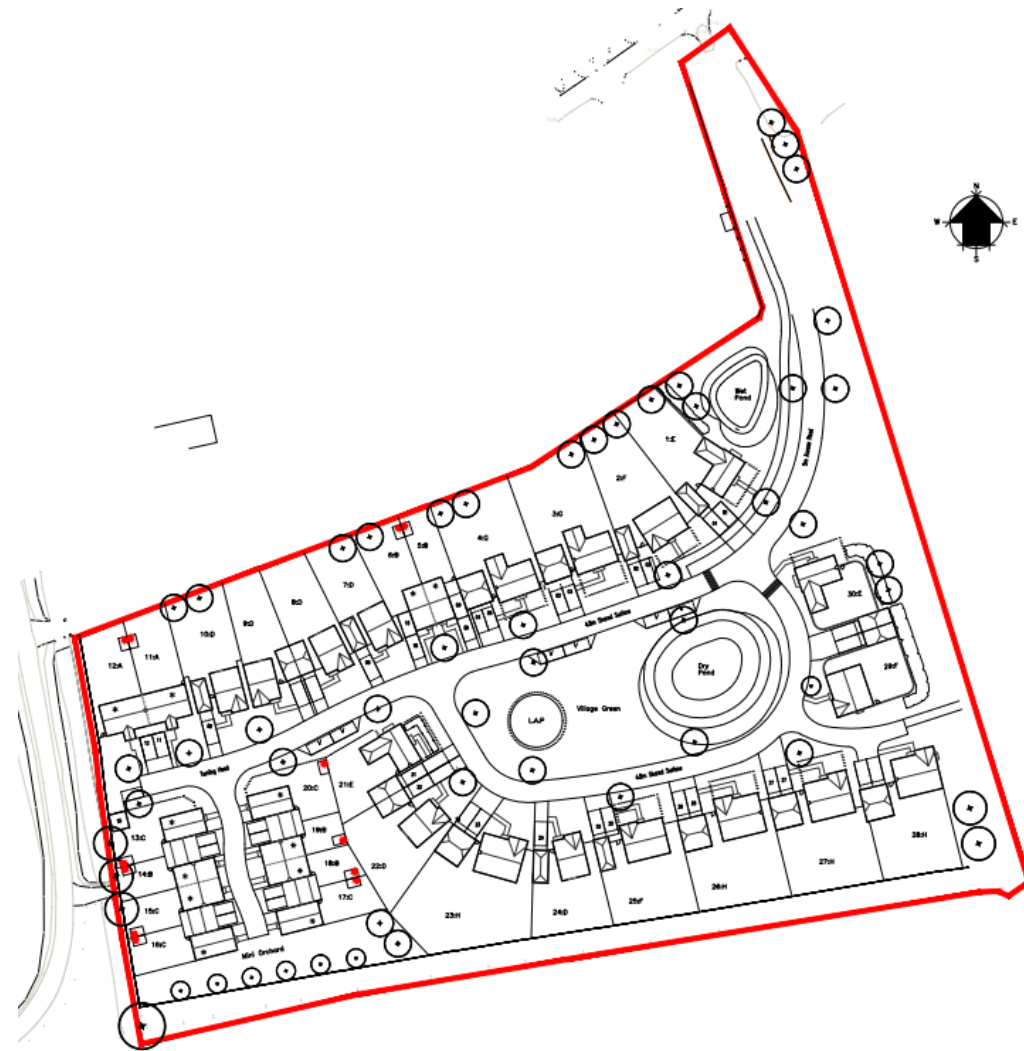
**Proposed mixed-native hedgerow and hedgerow trees along the northern and eastern boundaries accompanied by native tree planting to form a soft edge boundary vegetation structure.**

**Non permanent Attenuation basin**

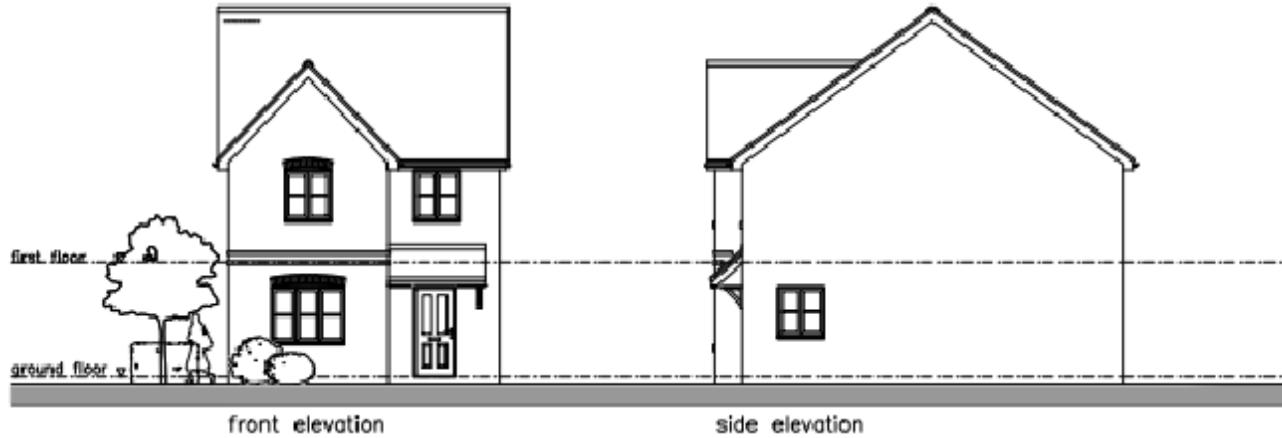
**Vehicular access point, to take advantage of existing field access.**

*Cor. campestre, Betula pendula, Carpinus betulus, Vitex sylvatica, Prunus avium, Sorbus aucuparia.*

# Affordable Housing

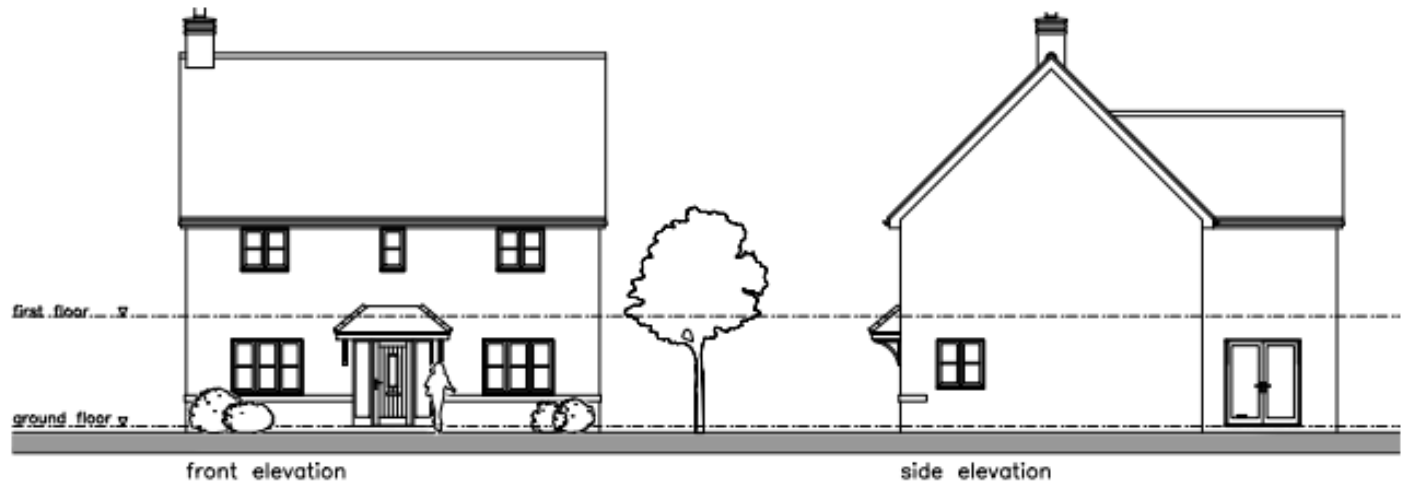


# Elevation Drawings





# Elevation Drawings



# Sketch Visuals



# Elevation Drawings



front elevation



front elevation

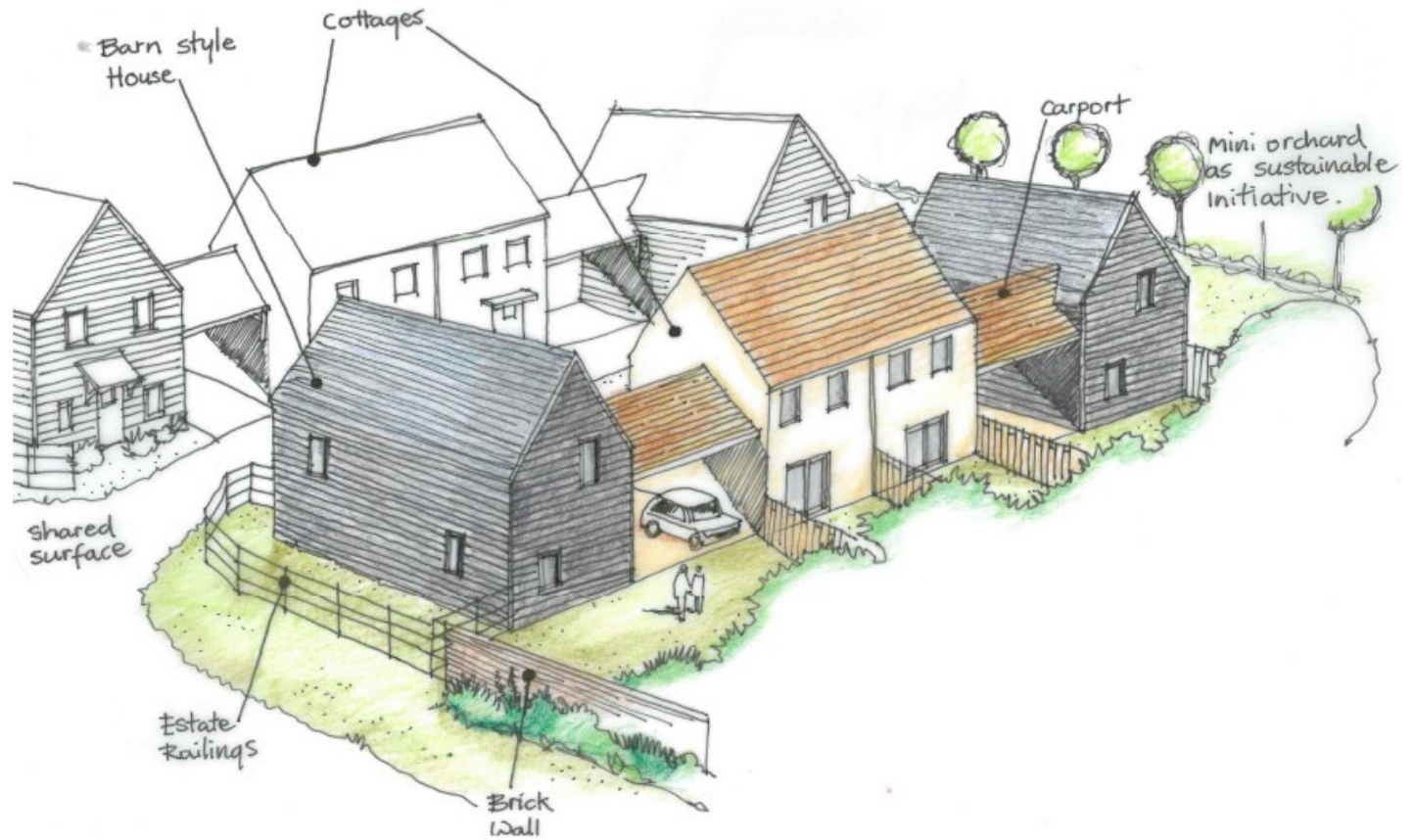
Pet 20c

Pet 09

Pet 08

Pet 07c

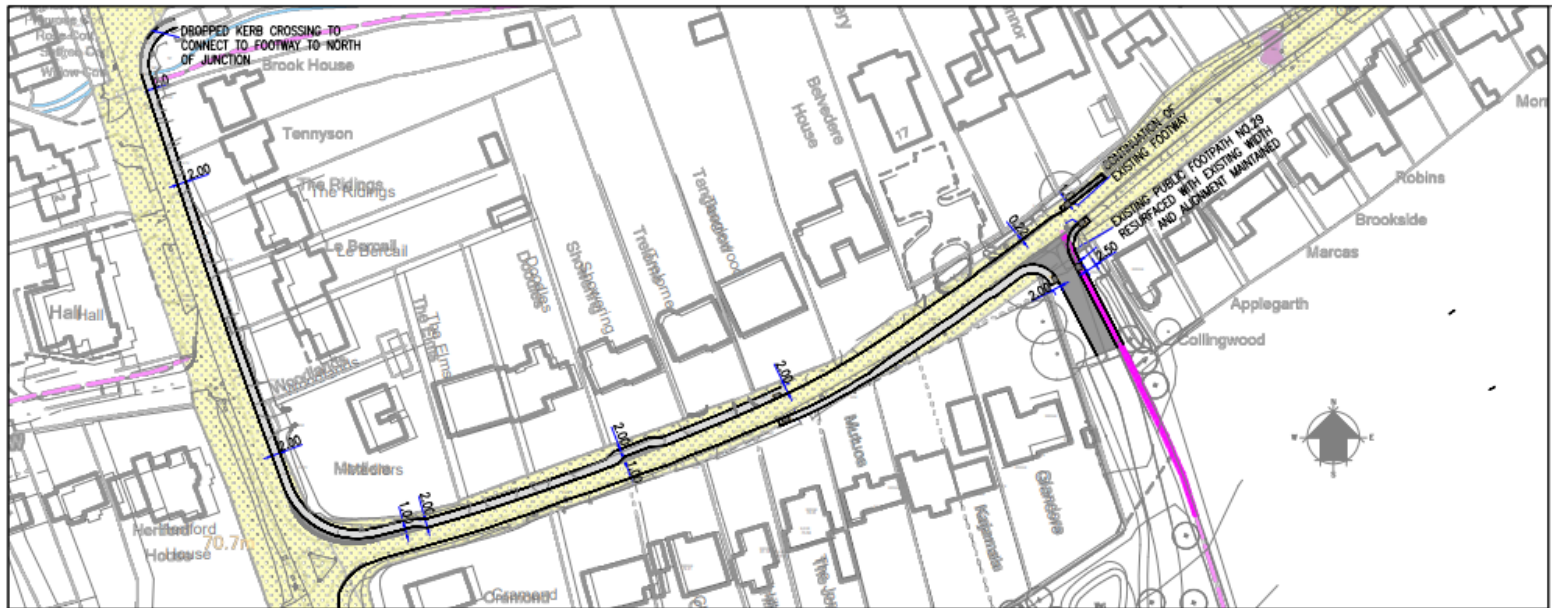
# Sketch Visuals



# Pedestrian Links



# Proposed Footpath



# Roadside Ditches



# Summary

- Council unable to demonstrate a 5-year housing land supply and the provision of 30 dwellings including 12 of these being affordable housing would help to address this.
- New public open space.
- Visual harm caused to the landscape character of the countryside would be localised, limited and largely mitigated by new planting measures.
- The applicant has failed to demonstrate that safe and suitable access for all highways users can be provided to the site; that the proposed works are deliverable; and therefore, that the impact upon the highway network caused by this proposed will not have an unacceptable consequence on highway safety.
- The adverse impacts of the proposed development would significantly and demonstrably outweigh the benefits of the scheme.



# UTT/22/2568/FUL

## Land North of Water Lane Stansted

# Location Plan



# Conditions Proposed to be Removed

**Condition 5:** No development shall take place until a comprehensive condition survey of Water Lane from its junction with Station Road to the application site has been completed, details of which shall be first submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. The results of such "before" survey and any required repair work necessary to facilitate the passage of construction vehicles shall be submitted to and approved in writing by the local planning authority with any repair work being carried out prior to the construction period.

REASON: In the interests of highway safety and accessibility in accordance with ULP Policy GEN1 of the Uttlesford Local Plan (adopted 2005). The use of such pre-commencement condition is required to ensure the highway serving the development is of sufficient standards to facilitate such development.

**Condition 6:** Following completion of the construction of the dwellings, a further comprehensive survey of Water Lane from its junction with Station Road to the application site shall be completed in accordance with the details approved in Condition 5 above. The results of the survey and any identified damage/repair work shall be submitted to and approved in writing by the Local Planning Authority. Any repair works identified in the "after" survey shall be carried out within 3 months of the completion of the construction of the dwellings to a programme to be agreed by the Local Planning Authority.

REASON: In the interests of highway safety and accessibility in accordance with ULP Policy GEN1 of the Uttlesford Local Plan (adopted 2005).

# NPPF test (paragraph 56)

- (a) necessary;**
- (b) relevant to planning;**
- (c) relevant to the development permitted;**
- (d) enforceable;**
- (e) precise; and**
- (f) reasonable in all other respects.**

# NPPF test (paragraph 56)

**Condition 5:** No development shall take place until a comprehensive **condition survey** of Water Lane from its junction with Station Road to the application site has been completed, details of which shall be first submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. The results of such "before" survey and any required repair work necessary **to facilitate the passage of construction** vehicles shall be submitted to and approved in writing by the local planning authority **with any repair work being carried out prior to the construction period.**

REASON: In the interests of highway safety and accessibility in accordance with ULP Policy GEN1 of the Uttlesford Local Plan (adopted 2005). The use of such pre-commencement condition is required to ensure the highway serving the development is of sufficient standards to facilitate such development.

**Condition 6:** Following completion of the construction of the dwellings, a **further comprehensive survey** of Water Lane from its junction with Station Road to the application site shall be completed in accordance with the details approved in Condition 5 above. The results of the survey and any **identified damage/repair work** shall be submitted to and approved in writing by the Local Planning Authority. Any repair works identified in the "after" survey shall be carried out within 3 months of the completion of the construction of the dwellings to a programme to be agreed by the Local Planning Authority.

REASON: In the interests of highway safety and accessibility in accordance with ULP Policy GEN1 of the Uttlesford Local Plan (adopted 2005).

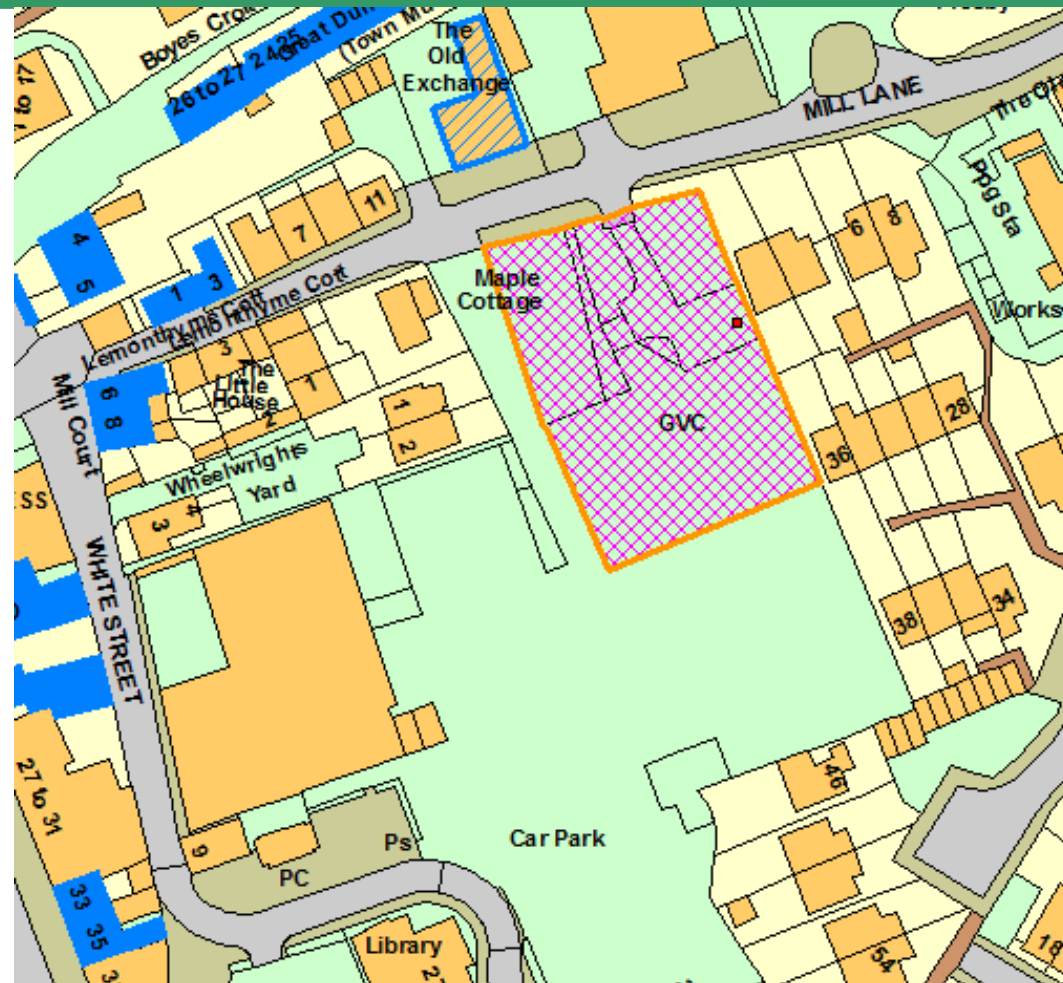
**UTT/22/0579/FUL**

**Former Gas Works**

**Mill Lane**

**Dunmow**

# Location Plan



# Aerial View





# Land Ownership



# Post Remediation Reinstatement

